



*Inspector Contact Details at End of Both Building & Pest Reports*

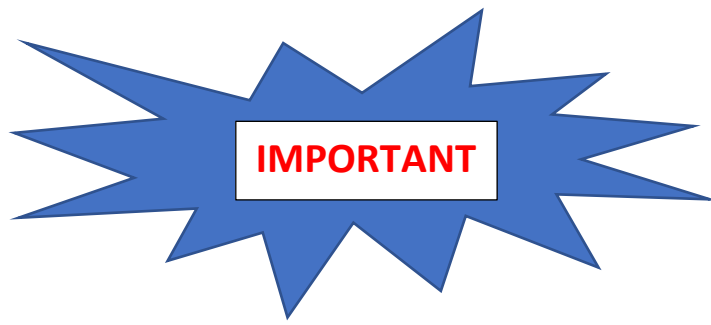
## Visual Pre-Purchase Building Condition Report

To comply with Australian Standard  
Building - AS4349.1-2007

CLIENT & INSPECTION DETAILS:	
Client	Georgie K
Address:	9 Walker Ave Wyoming
Contact Phone:	Details withheld
Contact Email:	Details withheld
Inspection Date / Report Number:	28 <sup>th</sup> November 2025
Inspection Time:	11:00am
Weather Conditions	Sunny
Building Furnished:	Yes
Building Tenancy:	Occupied
Persons present at time of inspection:	Vendor



**SEPARATE PEST INSPECTION REPORT IS LOCATED AT THE BOTTOM OF THIS BUILDING REPORT**



The information provided in this report is from the **DATE AND TIME** of the inspection.

Obstructions such as furniture, floor coverings, wall coverings, garden or garden ornaments **OR** anything that may cover a certain part of a building element **IS NOT** deemed as inspected. Many photos are taken at the inspection that do not make the report and are deemed as a record of what could be seen or not seen at time of the inspection.

**Cracking** to any building element is not good cracking **EVER**. What this means is that any cracking that has been identified is caused from the substrate failing i.e. the ground, soil or foundations that hold the building in place **OR** poor workmanship of the installer to the building element i.e. floor tilers, wall tilers or any installer of any building element. The cause of cracking to any building element can never be determined without further investigation. This means that any cracking to any building element should be further assessed by a structural engineer prior to making a purchase decision no matter how minor it appears.

**Retaining walls** over 1 meter in height need to be inspected by a structural engineer regardless of their purpose or condition. What may seem as a slight lean or crack may mean something more serious. In many cases, leaning or cracking retaining walls are caused by poor drainage and or tree roots, and if walls present as fairly new, possibly the install process. The term retaining walls means any wall of any construction or material type.

**Drainage Drainage Drainage** ... At time of inspection, the overall inspection may note as drainage as being satisfactory **BUT** this does not allow for the various weather conditions after exiting the property. Drainage satisfactory is determined on the day but does not mean satisfactory after the inspection has taken place.

**Weather** – When the weather conditions have been noted as “Raining / Rain etc”, these conditions hinder an external inspection as navigating an Ipad, phone, camera and umbrella does take a lot of the focus away from the task at hand. A re inspection to the external areas only is highly recommended prior to making a purchase decision. At time of booking inspection, the weather cannot be guaranteed until the actual date and time of the inspection.

**IMPORTANT** ... This inspection is not a compliance inspection, meaning that “has the building element” been built right, to current code and council approved. The answer is UNKNOWN. This is particularly important when it comes to building design and its purpose i.e. roof pitch, gutter or down pipe capability to hold and move water without damage to any other building element.

## RECOMMENDATIONS (IMPORTANT READ)

Silicon Seals	It is recommended that an allowance (Financial) is made for a suitably qualified person to silicon seal (Including re sealing) ALL wall and floor junctions to areas of high moisture I.e. Bathrooms, laundry's, powder rooms, kitchens, decks, verandahs, balconies or the like. The most ideal company to carry out this type of work are either plumbers, waterproofers or tilers. Any current silicon seal in place cannot be determined if it has been done correctly by a suitable qualified company.
Cement Pointing	Cement pointing is a roof exterior building element, it is a product used to help seal up roof capping tiles I.e. ridge capping or valley capping tiles. Most homes have cracking to varying levels depending on the age, these cracks may allow moisture ingress into the roof space, therefore it is recommended that an allowance (Financial) is made to have all the capping tiles re pointed where applicable.
Wet Area Floor & Wall Tile Cracking	No cracking is good cracking EVER ... Any cracking to wall or floor tiles in a wet area may look harmless at the time of inspection I.e. the cracking has not undermined the waterproofing therefore no moisture detected to accessible walls around the area, but this is not to say that the day the purchaser moves in that the cracking undermines the waterproofing membrane, therefore leaks commence. Where cracking has been identified in a wet area, it is highly recommended that the particular area is rectified by a suitably qualified tiler and/or waterproofing expert as a matter of priority.
Internal / External Painted Surfaces	The quality of paint product applied to all internal surfaces cannot be qualitatively known OR known if a suitably qualified painter has applied the product. A pre purchase or pre sale inspection is a visual inspection only, therefore if the paint coating looks neat and tidy, then it has to be assumed by the inspector it has been applied as per manufacturer recommendations. There will be knocks, dings, poor DIY patch repairs, scratches or similar to walls, ceilings and floors within a second hand home purchase. If a home purchaser is assuming perfection, then please make a financial allowance to patch, sand and paint all internal previously painted surfaces.
Plumbing, Drainage, Electrical, Gas or Solar	These are not areas within the inspector's level of expertise unless stated otherwise, therefore it is highly recommended that the purchaser seeks professional advice within these areas prior to making a purchase decision.
Timber Window & Doors	Timber windows & doors regardless of build type I.e. Sash, casement, sliding, hopper are dependent on weather or space conditions at time of operation, meaning in dry times, most will operate as intended, while moist times most will jamb up. This does not include those windows or doors that have been recently painted, because if not ease and adjusted after painting, this will almost guarantee these windows or doors will jamb up. It is recommended that an allowance (Financial) is made for a suitably qualified person to operate all doors & windows a week before settlement date and provide the purchaser further advice or repair options at the time and date of the inspection.
Aluminum Windows & Doors	These are susceptible to the climate at time and date of inspection, as with timber windows and doors. Metal expands and contract due to heat and cold, therefore ease and adjust maybe required ongoing depending on the seasons, especially when it comes to bifold or stacker doors. Weather conditions at time of inspection may be different than the actual inspection date and time, therefore please one week prior to settlement, make sure you operate all doors and windows
IMPORTANT	If in doubt, have questions, require clarification or ANYTHING, Please get in contact with the inspector prior to your purchase decision at; <a href="https://e2epi.com.au/building-pest-inspection-acknowledgement/">https://e2epi.com.au/building-pest-inspection-acknowledgement/</a>

**PURPOSE:**

This report should be read in its entirety for the purpose of allowing a potential purchaser to make an informed decision prior to this property’s purchase.  
The Purpose of the inspection is to give advice about the condition of the property and regard to general condition.  
This Summary and report must be read in conjunction with the full report and not in isolation from the report.  
If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.  
This Report is subject to conditions and limitations.  
Any building or part of a building that is constructed on a concrete slab, whether raft slab on ground or a suspended slab is always more susceptible to termite attack because of possible concealed termite entry.

**SCOPE:**

This pre-purchase building inspection shall comprise of a visual assessment only for the buildings within thirty metres of the main building and within the inspection property’s boundaries only.

**OBSERVATION OF DEFECTS AT THE TIME OF THIS INSPECTION:**

Defects are categorized into 6 areas as described below.

These descriptions are clearly defined in AS4349.1-2007 Table 3.3 “Type of Defects.”

<b>A-</b>	<b>Damage</b>	Visual disruption or breakage resulting in loss of value or the impairment of usefulness.
<b>B-</b>	<b>Distortion, warping &amp; twisting</b>	A change in the shape of an image resulting from imperfections from its intended location.
<b>C-</b>	<b>Water penetration, damp related</b>	The presence of moisture and/or egress or entry of forms of water and dampness into unintended locations.
<b>D-</b>	<b>Material deterioration</b>	Rusting, rotting, corrosion, decay. Alteration of the products or elements original intended finish.
<b>E-</b>	<b>Operational</b>	Not being fit for proper functioning and /or ready for use. Does not operate as intended.
<b>F-</b>	<b>Installations &amp; Appearance</b>	Inappropriate fitting and finish of a products intended use.

*C4.2.4.2 Minor defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes, such as de-silvering of mirrors. It is expected that defects of this type would be rectified as part of normal ongoing property maintenance.*

AS4349.1-2007 C4.2.4.2 (Copy of this standard as already noted available upon request)

## FEE & INSPECTION AGREEMENT

The agreed inspection fee must be paid prior to the inspection taking place as per the terms and conditions advised by End 2 End Property Inspections.

### YOU AGREED TO THE FOLLOWING CONDITIONS & THE INSPECTION TYPE ORDERED BY YOU. (VISUAL BUILDING INSPECTION & REPORT)

This inspection will be carried out in accordance with **AS4349.1-2007** A copy of AS4349.1-2007 is available upon request

1. This inspection is a visual evaluation only for the buildings within 30 meters of the main building and within the inspection properties boundaries.
2. **ACKNOWLEDGMENT**: I agree to contact the Inspector (In writing) once I have read the report.
3. to the areas of, The Exterior, The Site, The Boundaries, The Roof Exterior (subject to height & weather restrictions) The Interior, The Interior of The Roof Space and within the Sub Floor areas (if applicable) only.
4. The report will also advise on visible minor and major defects, safety hazards and any cracking visible to the building's elements on the date and time of the inspection. Please note that general scuff marks, floor covering staining and scratches of the building element is wear and tear that comes with a property that is lived in IS NOT considered a DEFECT.
5. The Inspector will not conduct any invasive inspections. (Written instructions must be provided for any invasive inspections required now or in the future as the Inspector will not cut, break apart, dismantle move / remove any objects of roofing, wall or ceiling linings, A/C ducting, foliage, roof insulation, floor or wall coverings, fixtures, furnishings or any personal belongings currently in place.)
6. The Inspector will advise you should there be need to carry out an Invasive Inspection to the property that they inspected. In the event an Invasive Inspection should be required, then you should NOT agree to anything until this Invasive Inspection has been completed and reported on. Heavy furnishings and/or general stored goods including floor coverings such as rugs, mats, statues, ornaments, wall hangings or the like MAY hinder defects, especially if a property has been "Styled" to sell. A re inspection of a completely "vacated" property prior to settlement is advised.
7. We DO NOT & WILL NOT inspect inside of walls, between floors, inside flat roofing, inside any eave areas, behind any stored goods in cupboards, behind or under heavy furnishings and other areas that are obstructed at our inspection.
8. **No inspection will be carried out for Asbestos.** (This is out of our area of expertise, unless otherwise stated)
9. **No inspection will be carried out for Magnesite.** (This is out of our area of expertise, unless otherwise stated)
10. **No inspection will be made for Mold.** (This is out of our area of expertise, unless otherwise stated)
11. **No inspection will be made for Solar Power Panels.** (This is out of our area of expertise, unless otherwise stated)
12. **Plumbing & electrical** are not inspected at a Pre-purchase inspection. (This is out of our area of expertise, unless otherwise stated). Consult or engage a licensed plumber or electrician for these elements.
13. Costs for building rectification works are not provided within this Report. Should you require any costing's you should seek further advice from a licensed builder.
14. When a property is occupied, we bring your attention to be aware that furnishings and other belongings may conceal evidence of other issues which can only be discovered if and when these items are moved or removed and or after this inspected property has been vacated.

15. When and if Timber Pest Damage is found, it will be reported. We will only report on the visible damage at the time of this inspection.
16. This Inspection will not cover or report the items listed in Appendix D to AS4349.1-2007. A copy of Appendix D can be provided upon request.
17. Where a Strata Title property is to be inspected, then we will only inspect the strata unit's interior and the unit's immediate exterior to be inspected as detailed in Appendix B in AS4349.1-2007. A full Strata Report must be obtained for all of the common areas before you make an informed decision to purchase the Unit. A copy of Appendix B can be provided upon request. Issues found that may fall under strata may be identified from time to time for which you must seek further advice from the selling agent or strata manager.
18. **Important** - If an issue, pending dispute or a claim arises out of this inspection and report then each party must give written notice to each of the parties within 90 days from the actual documented property inspection date. Disputes may then be handled by an independent mediator or arbitrator. Each party will pay their own costs. **The building & pest inspection report is valid for 90 actual days only from date of report.**
19. We will not be liable for any third-party loss or damage suffered by any Person other than you in connection with the Inspection Reports use. We are released from any claims or further actions, damages or loss whatsoever if this report is to be used by another person or entity without our written permission to do so.
20. The extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of inspection. The inspector shall also determine whether sufficient space is available to allow safe access.
21. When a floor plan has been provided in the report, it has been taken from the internet, therefore we accept no responsibility for the information provided. It is just a guide only. When no floor plan has been provided, the names of rooms have been guessed by the inspector, therefore no responsibility is accepted for incorrect names and locations used.

22.

If sub-floor or roof space areas appear to have been sprayed with any Chemical Treatments, these areas will not be inspected unless it is safe to do so. A white "talcum" type powder within a roof space is common which treats general non timber pests. Access to this type of scenario will be on a case by case basis depending how heavy the "white powder" cover has been applied.

Area	Access Panel / Openings	Crawl space	Accessible Height
<b>Roof Space:</b>	400mm x 500mm	Minimum of 800mm x 800mm & Subject to inspector's discretion as to safe and reasonable access. The biggest access issue is being able to traverse from ladder into roof void safely	From a 3.6m ladder off a level platform and only if it is safe to do so
<b>Roof Exterior:</b>	-	-	From a 3.6m ladder only and off a safe level ground surface
<b>Subfloor:</b>	Subject to inspector's discretion as to safe and reasonable access. Generally 500mm in height x 500mm in width is what the inspector considers reasonable access	Subject to inspector's discretion as to safe and reasonable access	Subject to inspector's discretion as to safe and reasonable access

23.

Limitations to this Inspection are noted above and how these limitations may affect the Inspection are:

- In general, any stored or scattered goods, stored boxes, parked cars, bikes, boats, trailers, A/C unit's and their ducting and any external covering foliage, plants, vines, stored firewood and timbers, vines clinging to external wall surfaces, trees covering areas will hinder our inspection to the areas clearly stated within the body of this report.

24. The inspector shall determine whether sufficient space is available to allow safe access to confined areas.
25. Reasonable access does not include the use of destructive or invasive inspection methods or does reasonable access include cutting or making access traps or moving heavy furniture or stored goods.
26. **Areas NOT Inspected:** No inspection was carried out and no report is submitted to any of the inaccessible areas. These include but are not limited to cavity walls, concealed frame timbers, eaves, flat skillion roofs, fully enclosed patio subfloors, patios or verandas with no subfloor access opening, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, sarking thermal insulation, hollow blocks and posts etc
27. We invite you to contact the inspector shown on the last page of this report so any implications or unresolved issues can be explained. The inspector can only advise on areas within their area of expertise. Any unexplained areas you agree to research yourself prior to making any further decision to purchase this property.
28. You are the Purchaser & need to have any misunderstood issues fully explained to you prior to making any decision in purchasing this as inspected property. Your Conveyancer is not adequately qualified to explain any issues to you.
29. You must contact the Inspector shown on the last page of this report once report has been read in full. [ben@e2epi.com.au](mailto:ben@e2epi.com.au)
30. It is essential and a requirement that a full timber pest inspection is carried out in compliance with AS: 4349.3-2010
31. A timber pest report is not part of the building report as a timber pest report falls under different Australian Standards UNLESS stated otherwise on a property by property basis.
32. **Inspection Crawler** - When sub floor crawl spaces present as being "Too Low" meaning less than the flooring members above i.e. bearers, joists, concrete slab or where it has been noted as "Unsafe" i.e. damp conditions, ground surface mold, stored goods, rubbish or vermin, a robotic style inspection crawler may be used at the discretion of the inspector. An inspection by the crawler WILL NEVER replace the physical inspection OR the observations of the human eye can observe, therefore you agree that there will be no liability whatsoever on the inspector when the inspection crawler has been used. The purpose of the crawler is the inspectors' best endeavours to inspect difficult sub floors as a means of a "Better Than Nothing" approach. The inspector will give reasons why a physical inspection could not take place. If you are unsure of what a "Crawler" is, please get in contact with the inspector prior to your inspector engagement or property purchase decision. Being a confined space, the inspector will decide at the site if the sub floor space is safe and adequate to access at the date and time of inspection, this includes the use of the crawler.
33. **Drone** - At the inspectors' discretion, a DRONE may be used to inspect roofs that would normally be inaccessible, and by this it means could not be viewed off a 3.6 meter ladder as per Australian Standards AS4349.1-2007. Most common situations when a DRONE may be used is where the highest gutter line of the dwelling is over 3.6 meters OR the property may be a two or more story dwelling OR the roof covering conditions may be deemed UNSAFE to access which could be but not limited to roof pitch being too steep, slippery or wet roof coverings OR brittle roof coverings i.e. asbestos super 6 roofing or older homes with older concrete tiles, terracotta tiles or other types of roof coverings. Being an external area that will at times not be accessible, the inspector will decide at the property at the date and time of his inspection to utilise a 'Drone' to access this area. From time to time the inspector may use a DRONE which are tools to help get visual access to roofs that are over 3.6 meters.
34. **Other Tools** - At the inspectors' discretion, other "Tools" may be used to help the inspector provide the best possible outcome with regards to the condition of the property at the time and date of the inspection. These "tools" may and not be limited too non-invasive moisture meters, non-destructive wall penetrating termite detection devices or infrared thermal cameras. As the inspection is a "Visual Only" inspection, the inspector at his or her discretion may see something that justifies the use of the mentioned "tools" or the inspector may not see anything that justifies using mentioned "Tools".  
The inspector will decide at the site at the date and time of his or her inspection to use particular tools if the need arises.

35. **TRAMEX Moisture Meter** – This tool may be used by exception, meaning that this tool may be used in areas i.e. around wet areas such as kitchens, bathrooms, ensuites, laundries OR to confirm moisture staining that can visually be seen to confirm if moisture is still present to the area of concern. Where a reading has been provided, this is not an average reading to every square centimeter of the building element, it is a reading to a particular small area of the building element that the inspector felt was necessary to take a reading i.e. external walls, below windows, behind bathrooms or other wet areas. Where the comment “Not recorded” has been used, this may mean that the inspector could not visually see any reason to take a reading from that location. If you do not understand what this means still, then please contact the inspector before accepting this pre inspection agreement.

36. **DISCLAIMER 1: No Liability** shall be accepted on an account of failure within the Report to notify any problems in the areas of the subject property that are physically inaccessible for inspection or if access for Inspection is denied by or to the Inspector. Liability is capped at ‘The Time and Date of the Inspection’

37. **DISCLAIMER 2: DISCLAIMER OF LIABILITY TO ANY THIRD PARTIES:** We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any person other than you in connection with the use of this Inspection Report. The only Person to whom we may be liable and to whom losses arising in contract or tort sustained may be payable by us, is the Client named on the face page of this report. This report belongs to the person named on the front of this report.

38. **Liability: This stems only for the date and timing of this inspection only.**

**Pre inspection agreement & reporting acknowledgments** - You "The Report Purchaser" agree/agreed to all terms and conditions as set out in the pre inspection agreement (**THE CONTRACT**) prior to the inspection taking place AND agree/agreed that the report will be READ within **10 working days** of being received. You "The Report Purchaser" also agree/agreed that you will formally acknowledge that you have READ & UNDERSTOOD the provided report within **the 10 working day period** via the highlighted "LINKS" noted throughout the report (That you click on), which will take you to the inspectors "Web Based Form" automatically where this is also your opportunity to ask questions about the report provided on anything you do not understand about the provided report.

**ALL acknowledgments MUST BE in written form. If you wish to not click any “Links” within the report, you are welcome to email your acknowledgment. No other forms of communication will be accepted.**

### 39. COMPLAINTS CONCILIATION PROCEDURE:

If an issue, pending dispute or a claim arises out of this inspection and report then each party must give written notice to each of the parties within 90 days from the actual documented property inspection date. Disputes may then be handled by an independent mediator or arbitrator. Each party will pay their own costs. **The building & pest inspection report is valid for 90 actual days only from date of report.**

If you are not satisfied with our response, you must within twenty-eight (28) days of your receipt of our written response refer the matter to a Mediator nominated by us.

The Mediator's fees will be borne equally by both parties unless otherwise agreed. Each party will pay their own costs of the mediation, however, the mediation will only be conducted in the absence of any legal representatives, unless otherwise agreed.

The **‘Onus of Proof’** is upon the prosecution; therefore, the applicant/plaintiff must first prove, the negligence of the PPI Inspector related only to the date and timing of the original pre-purchase building inspection.

The mediation will be confidential, and any statement made, or document prepared for or disclosed in the mediation, other than a binding settlement agreement, will be without prejudice. A settlement agreement will be binding, in writing and signed by all parties

APPENDIX D  
EXCLUSION OF ITEMS FROM INSPECTION  
(Informative)

The inspector need not inspect or report on the following:

- (a) Footings below ground.
- (b) Concealed damp-proof course.
- (c) Electrical installations, operation of smoke detectors, light switches and fittings, TV, sound and communications and security systems.
- (d) Concealed plumbing.
- (e) Adequacy of roof drainage as installed.
- (f) Gas fittings and fixtures.
- (g) Airconditioning.
- (h) Automatic garage door mechanisms.
- (i) Swimming pools and associated filtration and similar equipment.
- (j) The operation of fireplaces and solid fuel heaters, including chimneys and flues.
- (k) Alarm systems.
- (l) Intercom systems.
- (m) Soft floor coverings.
- (n) Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum systems.
- (o) Paint coatings, except external protective coatings.
- (p) Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea formaldehyde).
- (q) Timber and metal framing sizes and adequacy.
- (r) Concealed tie-downs and bracing.
- (s) Timber pest activity.
- (t) Other mechanical or electrical equipment (such as gates, inclinators).
- (u) Soil conditions.
- (v) Control joints.
- (w) Sustainable development provisions.
- (x) Concealed framing-timbers or any areas concealed by wall linings/sidings.
- (y) Landscaping.
- (z) Rubbish.
- (aa) Floor cover.
- (bb) Furniture and accessories.
- (cc) Stored items.
- (dd) Insulation.

**SUMMARY OF THIS INSPECTION: Major & Miner Defects**

**Summary of MAJOR DEFECTS: (\*As per the Australian Standard AS4349.1 2007)**

\*A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

**My observation of visual Major “Defects” found at the time of this property inspection:**

Nil to report

**OTHER ITEMS INCLUDING EXPANDED COMMENTS AND PHOTOS AS NOTED THROUGHOUT THIS REPORT**

**Summary of MINOR DEFECTS: (\*As per the Australian Standard AS4349.1 2007)**

Classified as anything other than a major defect.

**My observation of visual Minor “Defects” found at the time of this property inspection:**

(Roof exterior) Evidence of cracking to cement pointing of roof capping tiles various locations recommend to re-point all capping tiles

**A**

Evidence of subsidence to concrete paths various locations. Please see expanded comments within external section of report for more detail

**A**

Evidence of rust corrosion to fence brackets, recommend replacing as required. Photo 3

**D**

Evidence of cracking to front boundary walls various locations. Wall does not appear to be leaning, therefore may be caused by the tree vine roots. Difficult to assess in detail, therefore recommend to remove vegetation off the wall so a better visual inspection can take place. Photo 7

**A**

Evidence of rust corrosion and efflorescence seeping out of concrete pool edge. Most likely caused by steel reinforcement being installed too close to edge, however what seeps out could also seep in, therefore it is recommended to engage a pool builder to inspect in more detail to confirm if issue is superficial. Photo 2

**D**

**OTHER ITEMS INCLUDING EXPANDED COMMENTS AND PHOTOS AS NOTED THROUGHOUT THIS REPORT**

**IMPORTANT REPORT ACKNOWLEDGMENT AT END OF BUILDING REPORT & PEST REPORT**

**Defect Reference Table**

<b>A-</b>	<b>Damage</b>	Visual disruption or breakage resulting in loss of value or the impairment of usefulness.
<b>B-</b>	<b>Distortion, warping &amp; twisting</b>	A change in the shape of an image resulting from imperfections from its intended location.
<b>C-</b>	<b>Water penetration, damp related</b>	The presence of moisture and/or egress or entry of forms of water and dampness into unintended locations.
<b>D-</b>	<b>Material deterioration</b>	Rusting, rotting, corrosion, decay. Alteration of the products or elements original intended finish.
<b>E-</b>	<b>Operational</b>	Not being fit for proper functioning and /or ready for use.
<b>F-</b>	<b>Installations &amp; Appearance</b>	Inappropriate fitting and finish of a products intended use.

## Summary of SAFETY ITEMS

Issues identified at the time of my Inspection. (Duty to Warn!)

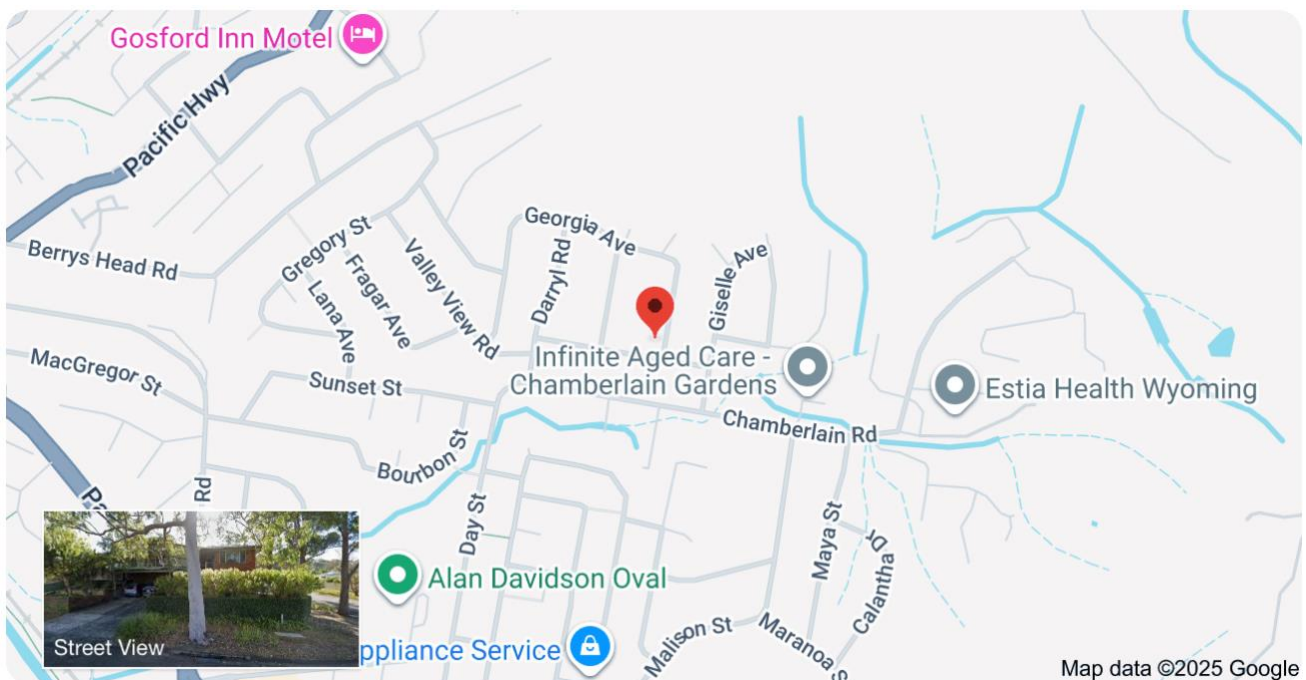
Nil to report

## SMOKE DETECTORS

**IMPORTANT NOTE** - The adequacy, fitting and testing of smoke detectors is outside the scope of this standard inspection and report. Accordingly, it is strongly recommended that a further inspection be undertaken by a suitably qualified person.

## Description and ID of the Property Inspected:

Site Topography:	For the purpose of this report, this residential dwelling has a street frontage facing approx.	South
	Falls to the:	Not recorded
Height:	No of stories	2
Construction Type	Floor type:	Concrete slab & Timber bearers and joists
	Exterior Wall type:	Brick
	Exterior Roof type:	Timber pitched
	Exterior Roof covering:	Tile
Interior:	Wall & Ceiling Linings	Plasterboard & fibro
External Structures		



## ACCESS AT THE TIME OF THE INSPECTION

### *Areas Inspected & Areas Not Inspected*

#### The Areas Inspected were:

The Interior	Yes	
The Exterior	Yes	
Sub-Floor	Yes	
Roof Void	Yes	
Roof Exterior	Yes	
Garage	Yes	

**NOTE (If Applicable):** It is recommended that an additional manhole be put into place to gain access into the areas beyond the hindering valley series timber trusses as valley series trusses are NOT crawled through at a visual pre-purchase inspection. Further Inspections are strongly recommended to areas where Reasonable Access is Unavailable, Obstructed or Restricted. Further Inspection of any obstructed areas is essential once access has been obtained or when this property has been vacated and the foliage trimmed back. Additional inspection or re-inspection charges do apply.

## THE INTERIOR OF THE BUILDING

### INTERIOR RECOMMENDATIONS & ISSUES FOUND AT THIS INSPECTION:

Please note that general furnishings including but not limited to floor coverings, wardrobe and cupboard contents may be hindering defects, therefore due to visual restrictions, only what could be visually seen has been inspected and reported on. If you're unsure what this means, please contact the inspector prior to making a purchase decision. Where the term "Restricted due to stored goods" has been used, this means that the area could not be visually inspected properly unless stated otherwise.

**AS 3786** – Advises, that **Smoke detectors** are required for all buildings where people sleep. It is recommended that an Electrician be consulted to seek advice on these detectors. Smoke detectors must be ceiling mounted and not wall mounted.

**Cornice joint cracking** and cornice separation may be visible in some of the room areas. This is usually minor and is normally common settlement only, unless otherwise stated in the body of this report.

**Air Conditioning units** are not tested at the time of this visual pre-purchase inspection. We recommend the unit be serviced annually and its return air filters be cleaned on a regular basis as per the manufacturer's specifications.

**Handrails** are required where a person has the potential to fall **one meter** or more.

**CRACKING TO THE BUILDING ELEMENTS:**

**Inspection Findings: Cracking to the External and Internal Building Elements**

**Is there cracking to the dwellings Building Elements?**

Yes

**Is an Engineer Required?**

With any type of cracking, it is always advisable to get in contact with a structural engineer just to make sure what seems minor visually is not actually a major issue waiting to happen. This also includes any evidence of previously repaired cracking.

**Cracking Categories: As per AS4349.1- 2007**

**Cracking is also categorized into the following 5 categories with a description of typical damage and required repairs:**

*NOTE: Cracking within the categories below may require a Structural Engineers Inspection for a complete determination on the effects to this dwelling prior to you deciding to purchase.*

**Category 0**  
Less than 0.1mm

Hairline cracking

**Category 1**  
Less than 1.0mm

Fine cracks that do not need repair

**Category 2**  
1mm -5.0mm

Noticeable cracks, yet easily filled

**Category 3**  
5.0mm-15.0mm

Cracks that can be repaired and possibly some of the wall or floor sections will need to be replaced. Note weather tightness can be impaired,

**Category 4**  
15.0mm -25.0mm

Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity.

The Cracked Areas	Approximate Width & Length of the Cracking		
	Approx. Width or Category	Approx. Length	
To the External areas. As inspected to the following areas			
Concrete paths	Cat 4	Varies	
Pool edge	Cat 3	Varies	

To the Internal walls, floors and ceilings. As inspected to the following areas.	Approx. Width or Category	Approx. Length	
	Internal brick work to garage	Car 2	Varies

## Interior & Exterior - Description of Each Area Inspected

Please Take Note of The Below Terms & Meanings.

**Satisfactory** – Meaning that the room/space/building element is in a fair and reasonable condition when compared to other similar properties of the same age, build type and use.

**Poor** – Meaning that room / space / building element is what the inspector feels is an unreasonable amount of wear and tear for example, heavily scuffed walls and heavy staining or damage to floor coverings including holes in walls/floors/ceilings.

**Incomplete Renovation** – Meaning that the room / space / building element has works started, but not complete and/or in the opinion of the Inspector has not been finished in a tradesman like manner.

**NA** – Means “Not applicable” I.e. Does not exist

**Restricted Due to Stored Goods** – Meaning unless stated otherwise, the building elements or space could not be inspected in enough detail in order to provide a comment on the condition.

Photos provided throughout this report are a combination of location shots and an example of the defect, and not necessarily the whole defect. If you do not understand what this means, please contact the inspector.

ENTRY	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Door	Satisfactory
Windows (Inc. Door Inserts)	Satisfactory



HALLWAY / STAIRWELL	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	NA
Doors	NA



LINEN CUPBOARD	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Doors	Satisfactory



KITCHEN / MEALS	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Wall Tiles / Splash back	Satisfactory
Cupboards / Cabinetry	Satisfactory
Bench Tops	Satisfactory
Sink & Taps	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Kitchen Appliances (Visual Only)	Satisfactory
Range Hood	Satisfactory

**Appliance Notes:**  
Dishwashers, Range Hoods, Ovens, Hot Plates & Microwave units are not tested in a visual pre-purchase inspection as this is out of our area of expertise.  
It is highly recommended that a Licensed Gas Appliance Technician perform a full service and CO2 Emission test on all gas appliances throughout the dwelling.



DINING ROOM	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory



LIVING ROOM	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory



BATHROOM	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Taps & Vanity Cabinet	Satisfactory
Ventilation	Satisfactory
Toilet	Satisfactory
Shower Recess	Satisfactory
<u>TRAMEX</u> Moisture Meter Reading	Low
<p>If a Shower leak was visibly evident at the time of this inspection and we recommend the shower base be resealed by a qualified and licensed tradesperson and a warranty must be sought. The shower tap flanges should be sealed and then must be re-sealed annually to the wall tile surface for the prevention of internal wall damage.</p>	





LAUNDRY ROOM	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Doors	Satisfactory
Windows	Satisfactory
Troughs & Taps	Satisfactory
Ventilation	Satisfactory



BEDROOM 1	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Robe	Satisfactory



BEDROOM 2	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Robe	Satisfactory



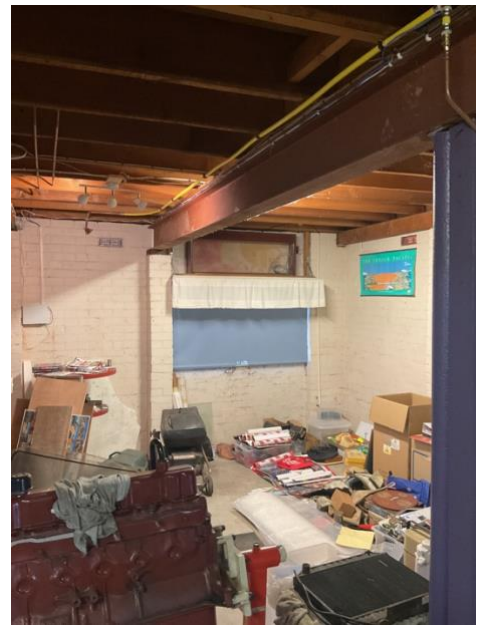
BEDROOM 3	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Robe	Satisfactory



BEDROOM 4	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	Satisfactory
Ceilings	Satisfactory
Windows	Satisfactory
Doors	Satisfactory
Robe	Satisfactory



GARAGE	CONDITION & COMMENTS
Access	Satisfactory
Floor	Satisfactory
Walls	(Garage) Evidence of moisture staining to internal brick work face various locations. This is most likely related to the subsidence of concrete paths externally which is allowing rain to seep through the walls. High moisture readings not detected at time of inspection, however this may change during rain events. Please refer to external section of report under "paths" for more details
Ceilings	Satisfactory
Windows	Satisfactory
Door	Satisfactory
Garage Door	Satisfactory





**TRAMEX MOISTURE DETECTION DEVICE.**

A Tramex moisture detection device operates on the principle of nondestructive impedance measurement. Coplanar electrodes are fitted on the base of the instrument from which low frequency signals are transmitted into the material being tested, measuring the change of impedance caused by the presence of moisture. This reading is translated by the instrument into a moisture content reading.



Please note that as per the inspection agreement, this tool is used by exception, meaning there needs to be visual evidence inside and outside to give reason to perform a surface test. For example ... Evidence or surface mold, discoloration of a building element, poor drainage or leaks externally that could impact a certain area within the property, the smell of fresh paint or a musty smell etc.

	YES	NO
Detected evidence of high moisture readings to internal walls?		X

**FLIR E8 INFRARED THERMAL IMAGING CAMERA.**

A thermographic camera is a device that creates an image using infrared radiation, similar to a normal camera that forms an image using visible light. The use of this device during a pre purchase inspection is to detect hot and cold surfaces that are not uniform with the surrounding surfaces. For example ... A roof leak on a plasterboard ceiling will show up as a very dark blue/black spot while the surrounding areas of the plasterboard ceiling sheet will show up as a warm yellow/orange color.



Please note that as per the inspection agreement, this tool is used by exception, meaning there needs to be visual evidence inside and outside to give reason to perform a surface test. For example ... Evidence or surface mold, discoloration of a building element, poor drainage or leaks externally that could impact a certain area within the property, the smell of fresh paint or a musty smell etc.

	YES	NO
Detected evidence of building element abnormalities to internal walls & ceilings?		X

**ROOF SPACE / ATTIC SPACE:** The roof cavity in a house can be a dangerous confined space and is not designed to be entered & traversed. The information below pertains to areas inspected by visual and photographic means from safe access areas only.

Very hindered roof loft area. Comments only pertain to the areas visibly inspected and photographed.

Please note where loose fill insulation has been used and/or your typical ceiling batts/roof blanket have been used, this is a visual inspection only, therefore only what can be seen has been inspected as insulation is in no way removed and/or pulled back.

ROOF CAVITY ITEMS	CONDITION & COMMENTS
Access	Satisfactory
*Loose cables	Satisfactory
Sagging of roof elements	Satisfactory
Visible damage	Satisfactory
Roof leaks	Satisfactory
*Insulation	Yes
Sarking	Yes

\*All types of **ceiling insulation** are to comply with the current Australian Standards AS/NZS3000:2007 in relation to down lights, Exhaust fans, IXL Heater/Fan Light units and Range Hood units. This and the R-rating cannot be determined at a pre-purchase inspection.

\***All electrical wiring** & electrical equipment can only be inspected and certified by a qualified electrician or electrical mechanic. All cables in a roof loft area should not be subject to damage. **Halogen Downlights** must have safety covers installed. These can only be inspected for compliance by a licensed electrician

\***Heating & cooling** ducting is not tested for operational integrity at this inspection. We are only able to provide a visual inspection of accessible areas only.

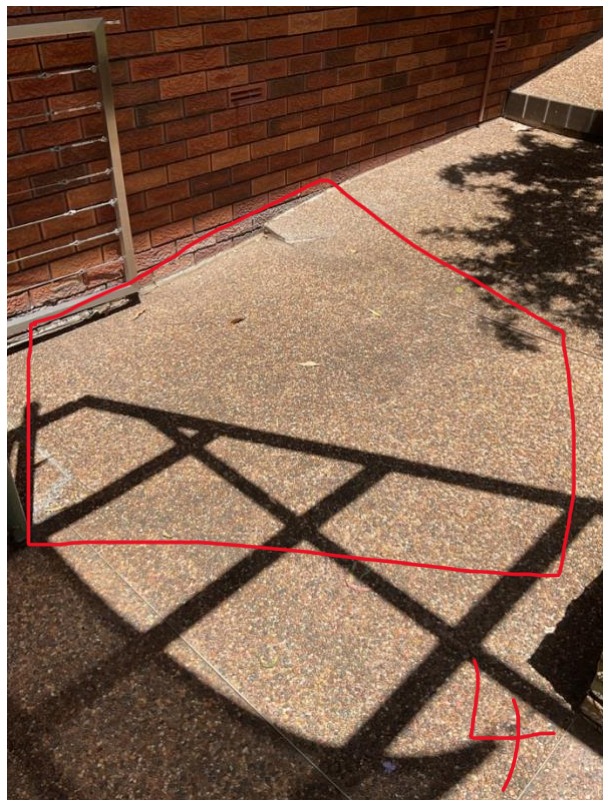
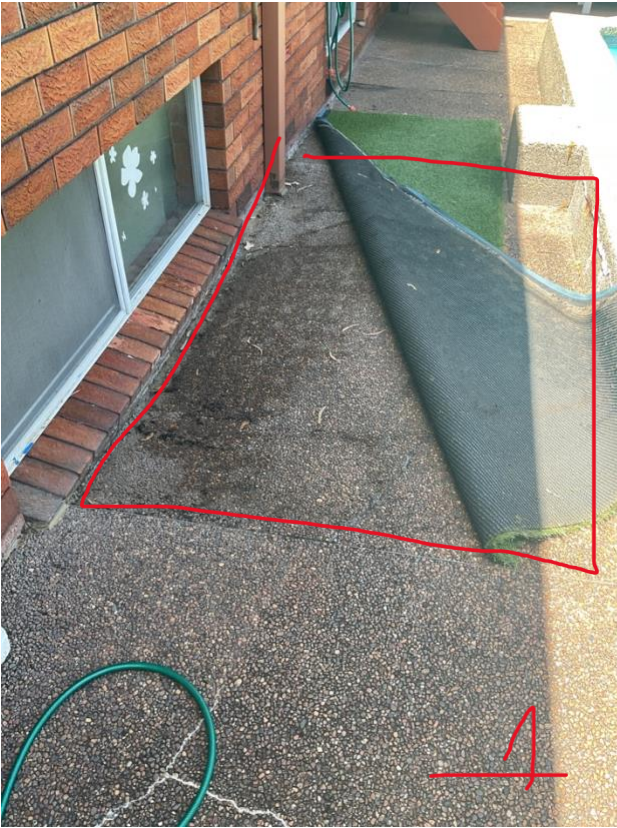


ROOF EXTERIOR:	
EXTERIOR ROOF ITEMS	CONDITION & COMMENTS
Access	Satisfactory
Roof	Satisfactory
Cement Pointing	(Roof exterior) Evidence of cracking to cement pointing of roof capping tiles various locations recommend to re-point all capping tiles
Valley Gutters	NA
*Perimeter Gutters / Spouting	Satisfactory
*Roof Flashing	Satisfactory
Gutter Guard	Yes
<p><b>*Chimney Note:</b> If evident, all flashings, and brick deterioration, any mortar erosion and any lack of support or loss of vertical plumb <u>may not</u> be visible due to this dwelling's height and access restriction.</p>	
<p><b>Fireplaces</b> are not tested. This test is outside the scope of this inspection, and it is recommended that you have these units fully tested prior to purchase.</p>	
<p><b>*All plumbing</b> must be inspected and certified by a qualified plumber or drainage engineer. Visual defects found by the inspectors are subject to a re-inspection by a licensed plumber with the appropriate certifications.</p>	
<p><b>The roof</b> exterior is not accessed if over 3.6 meters in height above ground level as this is not safe, however it may be essential that this roof exterior be completely inspected once it is safe to do so.</p>	



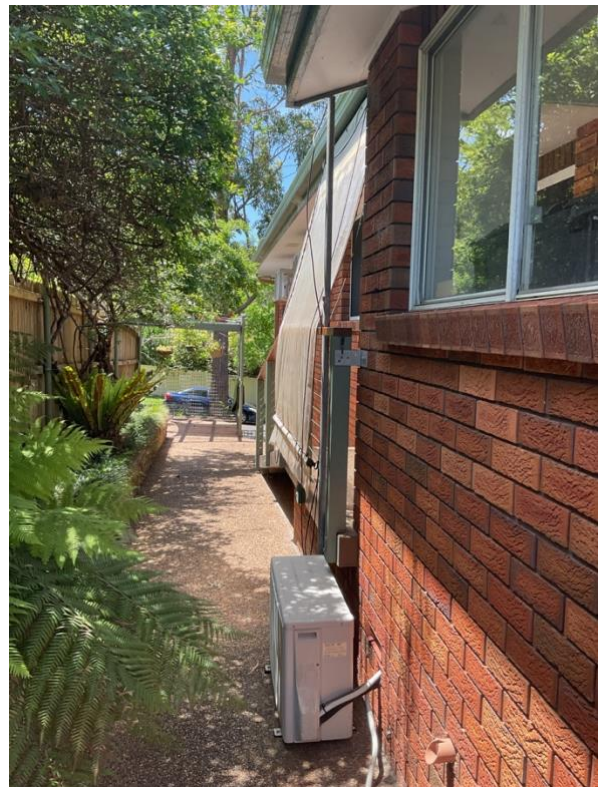
THE EXTERIOR OF THE BUILDING:	
EXTERIOR ITEMS	CONDITION & COMMENTS
Exterior Paint	Satisfactory
Exterior Walls	Satisfactory
*Downpipes and Gutters (Cont)	Satisfactory
Eave & Covered Portico Areas	Satisfactory
Fascia / Barge Boards	Satisfactory
Front / Rear steps	Satisfactory
External Windows Areas	Satisfactory
Mortar & fretting to brickwork	Satisfactory
*Hot Water	Satisfactory
*Site Drainage	Satisfactory
The Driveway	Satisfactory
Paths & Paved Areas	Evidence of subsidence and cracking to concrete path beside pool outside kitchen. Photo 1. It is noted that there is no visible cracking to pool wall below water level and no cracking to external brick work outside kitchen, therefore most likely related to sub soil seepage. This is the same scenario to paths outside bedroom 2 & 3. Photo 4 & 5, however there is noticeable stepped cracking to garage brick work. Photo 6. It can also be seen that the vendor has silicon sealed the cracks which will prevent any excess surface water from getting to the soil below the paths, which seems to be working as there was heavy rain only 48 hours prior to inspection date. Sub soil seepage can be difficult to impossible to manage as it could be coming from multiple locations, therefore it is recommended that the concrete paths are lifted so the soil below can be better assessed. Before any backfilling it is recommended that the brick work is waterproofed as a second level of protection.
Decking Areas	Satisfactory
Tiled Areas	Satisfactory
Fences	Evidence of rust corrosion to fence brackets, recommend replacing as required. Photo 3
Gates	Satisfactory
Steps within garden areas	Satisfactory
Retaining walls	Evidence of cracking to front boundary walls various locations. Wall does not appear to be leaning, therefore may be caused by the tree vine roots. Difficult to assess in detail, therefore recommend to remove vegetation off the wall so a better visual inspection can take place. Photo 7
Other 1	Evidence of rust corrosion and efflorescence seeping out of concrete pool edge. Most likely caused by steel reinforcement being installed too close to edge, however what seeps out could also seep in, therefore it is recommended to engage a pool builder to inspect in more detail to confirm if issue is superficial. Photo 2
<p><b>Note:</b> In general: All veranda's, decking, balconies and any internal void area railings, if applicable to this property must be a minimum height of 1.0metre high for compliance with the most recent Australian Standards. (If under 1.0m this is a safety hazard.)</p>	
<p><b>*Any Retaining Walls over 1-meter high will require inspection and certification from a Structural Engineer</b></p>	
<p><b>Any Timbers</b> that are in direct ground contact being in garden areas or the pergola, the awning, the carport or related item should be removed or relocated or treated unless evidence is provided that these timbers are of a treated or specific type suitable for its as applied application.</p>	
<p><b>*All plumbing</b> must be inspected and certified by a qualified plumber or drainage engineer. Visual defects found by the inspector are subject to a re-inspection by a licensed plumber with the appropriate certifications.</p>	

**\*All electrical wiring & electrical equipment** can only be inspected and certified by a qualified electrician or electrical mechanic. All cables in a sub-floor area should not be subject to damage. Visual defects found by the inspector are subject to a re-inspection by a licensed electrician with the appropriate certifications.





**SITE IMAGES – The images below form part of the overall condition / description of the property.**





Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

## PROPERTY MAINTENANCE (IMPORTANT READ)

The recommendations provided below are a guide in helping you maintain your property throughout the duration of your property ownership. The table below is specific to this property. The recommendations **MUST** be carried out by a licensed trade and / or current business registered “Handyman” style business if within their fair-trading approved work type. No trade or handyman can replace an engineer.

**Documented invoices / receipts must be able to be provided as proof of works.**

Maintenance Task	Monthly	3 - Monthly	6 - Monthly	9 - Monthly	Annually
Ease & Adjust windows & doors so they operate smoothly. Replace any damaged or worn components as required					X
Silicon sealing all wall and floor junctions including benchtops i.e. bathrooms, ensuites, laundries, powder rooms. Silicon breaks down over time, therefore it is prudent that these seals are replenished regularly.					X
Clean & flush out all external surface grated drains and pits so storm water can be captured and drained away sufficiently.					X
Roof, gutter & downpipe cleaning.					X
All retaining walls to be checked for cracking, displacement, moisture staining, efflorescence seepage (white powdery type substance), wood rot. Any retaining walls of any build type must be checked by a Structural engineer if over 1 meter high.		X			
Concrete driveways & paths to be checked for cracking, displacement or “Lipping” (trip hazards). Cracks up to 3mm can be filled with suitable sealant to prevent water ingress, all other crack sizes to be reviewed by contractor.		X			
Exposed steel work including brackets and fixings must be checked and treated in order to prevent further deterioration.					X

**RECOMMENDED TRADES OR SERVICES** – The trades & services details below are a guide only, End 2 End Property Inspections receive no commercial advantage, referral fees or any other monetary gains. The listed businesses are either businesses personally used by End 2 End or businesses based on workmanship quality seen while conducting inspections. As noted, it is a guide only, you must carry out your own personal due diligence by at least obtaining 2 or more quotes for any works you wish to undertake.

<b>Elevate Structural Engineers</b>	<b>0494 359 512</b>	<b>Structural Engineer Killarney Vale</b>
<b>Jefferson Plumbing</b>	<b>0449 876 118</b>	<b>Plumber</b>
<b>Anthony Love Electrical Services</b>	<b>0418 669 265</b>	<b>Electrician</b>
<b>Bliss Excavations</b>	<b>0425 315 396</b>	<b>Excavator Operator</b>
<b>Epoxy Grout Pro</b>	<b>0405 148 449</b>	<b>Tile re sealer</b>

**GENERAL SITE NOTES & AUSTRALIAN STANDARD AS2870**

**REQUIREMENTS TO APPLY:**

**This is Australian Standards information only and may not be dwelling specific**

**Stormwater Drainage & Surface Drainage:** Stormwater drainage and connection points and any if applicable surface drainage and or grated inlet drainage points around this dwelling, are to be checked and kept unobstructed and unblocked at all times. We recommend additional or new larger and improved surface inlet and diversion drainage be put into place, if not evident to any low lying or moss affected ground surface areas. For dwellings without visible diversion drainage this drainage must be put into place to prevent further foundation movement to this dwelling and possible destabilisation in the future, or proof by certification is to be provided that an adequate drainage system exists on and within this property. It is essential to prevent surface waters from entering the sub floor area of timber floored dwellings to prevent rising damp from causing peaking and cupping to the timber flooring materials. This drainage gives best results once fitted on the high side elevations of this as inspected dwelling or building. (I refer to AS2870 for compliant instructions if required.)

**Pitched Roofs:** Any pitched roofs with valley gutters and any Dutch gables we recommend that Compraband Press-tite flashings or similar be fitted between the valley gutters and the underside of the roof tiles to prevent future leaking at these points. Valley gutters must be sealed to their top ends to prevent bird or vermin entry into the roof loft area at these points. This flashing can also be required when excessive leaf and or bird entry is clearly visible and is evident within a dwellings roof loft area. High wind areas must have these flashings fitted as high levels of leaf entry into a roof void area can be a fire hazard. (If leaves are found in a roof loft they must be removed.)

**Concrete Paths & Driveways:** Any concrete paths, concrete slabs or concrete driveways that have been placed directly against any of the dwelling's downpipes and or their stormwater drainage points may cause downpipe and stormwater connection slippage over time due to shrinkage within the dwelling's foundations. Therefore, it is essential these areas be monitored regularly to prevent stormwater leaking and foundation point saturation from occurring. (In normal building practise, there must be expansion-jointing material placed around the downpipe or stormwater drainage areas before the concrete areas are poured.)

**Stored Goods:** Any stored goods including building materials like bricks, fire wood stacks etc, around the perimeter of a dwelling are to be removed immediately as they could be harbouring timber pests. See Pest Report for further details. (In the event, no Pest Report is being carried out then you must remove these stored goods immediately.) Stored goods within a sub floor area will hinder our inspection and not allow a Purchaser to make an informed decision whether they purchase this property.

**Retaining Walls:** Referring to retaining walls that are supporting other structures within their vicinity and landscaped retaining walls, more than 1metre high. Where a major defect is identified in any retaining wall regardless of height it is essential that a Structural Engineers Inspection and Report be obtained in relation to the structural integrity of such retaining wall structure. (This report is NOT a structural report and should not be deemed as such under any circumstances.)

**Weep Holes:** Relating to concrete slab properties and also multi-level properties of brick construction. All of the weep holes are to be left completely exposed, unobstructed and clean at all times. They must be BCA code and Australian Standard compliant in relation to the time as to when the building was first built. Blocked, missing and obscured weep holes can and will cause further dampness problems within the building's interior and within the wall cavity areas. This also includes wall areas above windows and doors are to be BCA code compliant. In recent years' weep holes are required to be put into place to the underside of windowsills to all windows over .900mm in width and be no more than at 1.2metre centres

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**Other Inspections, Certificates & Warranties or Reports:**

**Please review the list below as these areas are not included in this report.**

**It is Essential that these Inspections and/or Reports be obtained prior to any decision to purchase so the purchaser can be well equipped to make an informed decision.**

<p><b>Termite Treatment</b> Type, its area of application, its Warranty and certification</p>		<p><b>Full Electrical, Safety</b> Switching, PC and Fittings Inspection. Wiring and down light safety</p>
<p><b>Plumbing: Drainage</b> Drainage Plumber or engineer to certify perimeter &amp; inlet drainage. Stormwater &amp; hydraulic inspection</p>	<p><b>Plumbing - Gas Technician</b> Gas appliance technician to inspect, service and carbon monoxide (CO2) emission test to all gas appliances</p>	<p><b>Plumbing; General inspection</b> Hot water services, taps servicing, in-sinkerators, spouting &amp; downpipes. Any plumbing which is out of the expertise of the inspector.</p>
<p><b>Plumbing; Septic Tank &amp; Water Tank</b> Inspection in relation to its operation, integrity and performance.</p>	<p><b>Appliances,</b> Ducted Vacuum systems, washing machines or dryers remaining with the dwelling</p>	<p><b>Appliances – General</b> Electric oven, range hood, dishwasher</p>
<p><b>Air Conditioning unit/s Technician</b> Inspection as to its operation and temperature controlling</p>	<p><b>Insulation &amp; Energy Rating</b></p>	<p><b>Asbestos</b> Inspection, identification &amp; remediation</p>
<p><b>Full STRATA Unit Inspection</b> and Documentation Search</p>	<p><b>Engineers Inspection</b> to be sought for Structural Steel beams and all retaining walls</p>	<p><b>Mould</b> Inspection, identification &amp; remediation</p>
<p><b>Home Owners Warranty Insurance</b> Certificate as to the recent works carried out to this property</p>	<p><b>Wet area Flashing and Waterproofing</b> Certification</p>	<p><b>Fire Services / Fire Engineer</b> Includes smoke detector testing&amp; installation. Compliant fire separation walls. Flammable cladding identification.</p>

<b>Swimming Pool Area</b> Safety issues, integrity and safety of the Pool Fencing, gate operation and the pools Structural Integrity. Pool pump and equipment.	<b>Structural Engineer</b> Reports on sub-floor, stumps, piers, underpinning & foundation issues	<b>Roof tile repairer</b> Ridge and tile pointing, broken tiles, re-setting of tiles, valley gutter & flashing issues
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Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

## Conclusion & Warning

The purpose of this inspection is to provide advice to the Client regarding the condition of the property at the time of the inspection. This inspection comprised a visual assessment only of the property to identify any defects and to form an opinion regarding the condition of the property at the time of the inspection.

The incidence of any form of Defects within this Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered

<b>HIGH</b>	<b>Needs immediate rectification</b>
<b>TYPICAL</b>	<b>Rectification works is required</b>
<b>LOW</b>	<b>Minor rectification is required</b>

.9 Walker Ave Wyoming	Typical .
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### Inspector Comments (If required)

.Good solid house overall, sunken paths definitely need further investigation

**PLEASE NOTE:** Any defects found to the property must be inspected by a suitably qualified tradesperson as in some instances an invasive inspection may be required to determine the level of deterioration which is out of scope under AS4349.1-2007. A more in-depth inspection may involve cutting, probing, moving, dismantling or similar in order to determine the extent of damage. The engagement of a suitably qualified tradesperson must be carried out prior to making a purchase decision. Please make sure you also refer to the report page heading of "Other inspections, certificates & warranties or reports" for a list of inspection types that maybe out of our level of expertise or included in this report type under AS4349.1-2007

Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

BEFORE YOU CONTACT THE INSPECTOR.

1. Have you read the report IN FULL word for word?
2. Have you read the terms and conditions of engagement and agreed to them?

[ben@e2epi.com.au](mailto:ben@e2epi.com.au)

0413 058 378

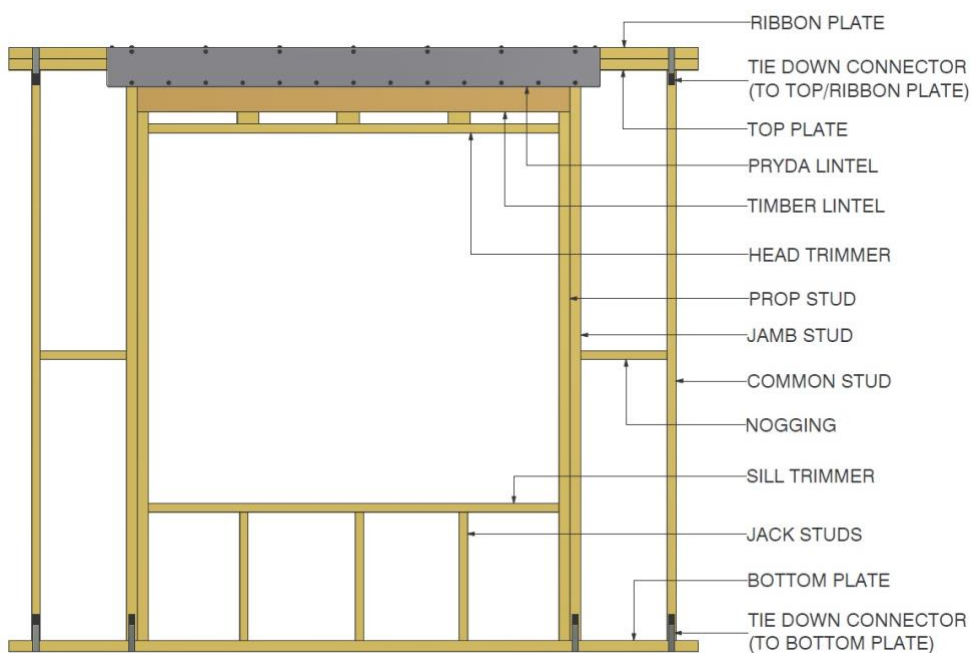
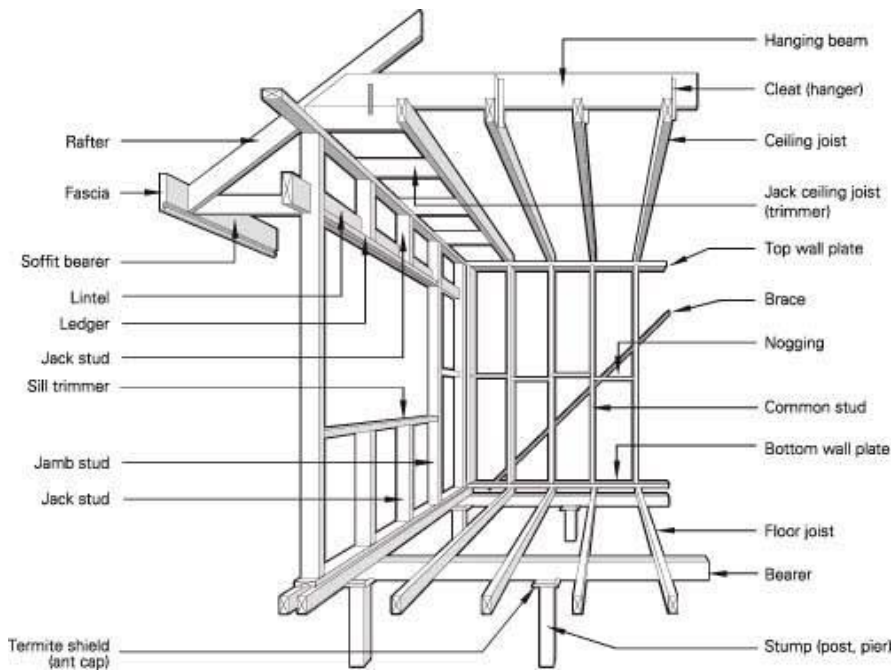
Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

## TERMINOLOGY & THEIR DEFINITIONS

**GLOSSARY OF TERMS:** (This explains Building Elements in layman terms.)

- ACCESSIBLE AREA** - An area of the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.
- ACCESS HOLE** - Access hole An opening in flooring or ceiling or other part of a structure to allow for entry to carry out an inspection.
- AGG LINE** - A perforated pipe (usually covered with a geo-textile fabric) laid behind retaining walls and other areas to catch seeping stormwater.
- APPEARANCE DEFECT** - Fault or deviation from the intended appearance of a building element.
- ARCHITRAVE** - molding surrounding a door or window opening to cover the joint between the frame and the wall finish.
- BALUSTRADE** - A series of vertical members supporting a handrail of a stair, landing, platform or bridge.
- BEARER** - A sub-floor structural timber member which supports the floor joists.
- BRICK VENEER** - A method of construction in which a single leaf of non-load bearing wall of brickwork is tied to a timber or metal framed load bearing structure to form the external enclosure.
- BUILDING ELEMENT** - Portion of a building that, by itself or in combination with other such parts, fulfills a characteristic function.
- CEMENT** - A finely ground inorganic powder that, mixed with water, binds an aggregate / sand mixture into a hard concrete or mortar within a few days.
- CLIENT** - The person or other entity for whom the inspection is being carried out.
- CONCRETE** - A conglomerated artificial stone made by mixing in specified proportions cement, water and aggregates and pouring the mixture into prepared forms to set and harden.
- CORNICE** - A molding placed at the junction between a wall and ceiling.
- DAMP- PROOF COURSE (DPC)** - A continuous layer of an impervious material placed in a masonry wall or between a floor and wall to prevent the upward or downward migration of moisture.
- DEFECT** - Fault or deviation from the intended condition of a material, assembly or component.
- DEFLECTION** - Has a wavy appearance, causes the feeling of going up or down to these areas stated, lips in concrete surfaces at their joints.
- EAVES** - The lower part of a roof that overhangs the walls.
- FASCIA** - A metal profile, which is fixed to the lower ends of rafters and usually supports the guttering.
- FOOTING** - That part of a construction designed to transfer loads to the supporting foundation, usually constructed of reinforced concrete to support base brickwork.
- FOUNDATION** - The natural or built-up formation of soil, sub-soil or rock upon which a building or structure is supported.
- FOUNDATION DOOR ENTRY** - The door or cover access point into a dwellings sub floor area.
- GABLE** - The vertical triangular end of a building with a pitched roof, between the rafters from eaves level to the apex (ridge). It may be formed in brickwork or timber framed and clad with weatherboards.
- GAUGE** - An indicating device usually in brickwork setting out the number of bricks to a certain measurement. E.g. 7 brick courses per 600mm in height. This gauge is adjusted to suit the brick and the site conditions.
- GOING** - In a stair the horizontal distance from the face of one riser to that of the next.
- HANGING BEAM** - A beam above the ceiling used to support ceiling joists.
- HEAD** - The upper horizontal member at the top of an opening or frame.
- HEADER** - A brick laid with its greatest dimension across a wall usually used to tie two skins together or under a door sill or window.
- HEARTH** - The floor of a fireplace and immediately adjacent area.
- HINDERED ACCESS** - The inability to access this area stated in this report.
- HIP ROOF** - A roof which is pyramidal in shape with sloping surfaces and level edges all round.
- INSPECTION** - Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.
- INSPECTOR** - Person of organization responsible for carrying out the inspection.
- JOIST** - A timber or steel beam supported by a bearer which the flooring is fixed directly to.

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**LIMITATION** - Any factor that prevents full or proper inspection of the building.

**LINTEL** - A horizontal supporting member spanning over a window or door opening. A "gal-lintel" is a steel lintel used to support brickwork over an opening.

**MANHOLE ENTRY** - The entry into the roof loft area by the removal of a ceiling cover or an internal wall doorway.

**MAJOR DEFECT** - A defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

**MINOR DEFECT** - A defect other than a major defect.

**MORTAR** - A mixing of bush sand (white or yellow), cement (grey or off-white) and water for brickwork. Usually at the rate of 6 part sand to one part cement (by volume) and if required one part lime. Can have a flush, raked or round finish.

**NEWEL POST** - A post at the top or bottom of a stair flight to support the handrail and/or winders in the stair treads.

**PARAPET** - A low wall to protect the edge of a roof, balcony or terrace. Many shops have a parapet at the front of the building for signage.

**PARTICLE BOARD** - A flat floor sheeting of good dimensional stability made from wood flakes and synthetic resin / binder under heat and pressure. Can be produced with decorative elements for joinery work.

**PELMET** - A built-in head to a window to conceal the curtain rod or to a sliding door to conceal the tracks. Usually made of wood.

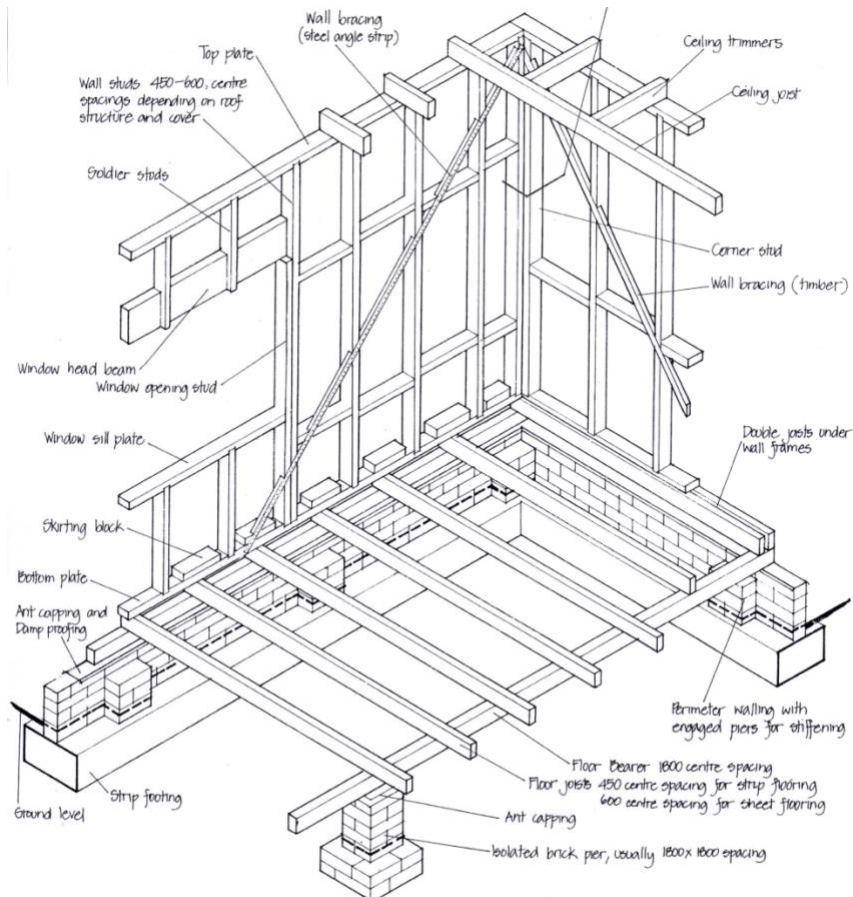
**PERP** - A vertical joint in masonry construction.

**PITCH ROOF** - The ratio of the height to span, usually measured in degrees.

**POINTING** - The completion of jointing between ridge or hip tiles with a matching colour after bedding of tiles or troweling of mortar into joints after bricks have been laid to touch up.

**QUAD MOLDING** - A molding with a cross-section of a quadrant of a circle used to cover joints often in eaves or at junctions of walls and/or ceilings.

**RAFTER** - A sloping member in a roof providing the principal structural support for the roofing material.



**RAFTER (COMMON)** - A rafter spanning the full distance from the eaves to the ridge.

**RAFTER (HIP)** - A rafter forming the hip at the external line of intersection of two roof surfaces. Jack rafters meet against it.

**RAFTER (JACK)** - A rafter between a ridge and a valley or a hip rafter and the eave.

**RAKED JOINT** - A brick joint raked out by the bricklayer for a key for plaster or as a decorative finish.

**RENDER** - The covering of a brick wall with one or more coats of cement mortar consisting of Sydney Sand, cement and plasterers clay.

**RIDGE** - The highest part (apex) of a roof, which is usually a horizontal line.

**RISER** - The vertical face of a step in a stair flight.

**SERVICEABILITY DEFECT** - Fault or deviation from the intended serviceability performance of a building element.

**SEPARATION** - Gapping formed between the two surfaces stated.

**SIGNIFICANT ITEM** - An item that is to be reported in accordance with the scope of the inspection.

**SKEW NAILING** - The driving of nails at an oblique angle often in different directions to improve the strength of a joint of fixing.

**SKIRTING** - A wooden board fixed to the bottom of a wall at the junction of the floor to prevent damage to the wall or to conceal small gaps.

**SLIP JOINT** - A joint designed to allow movement between two members usually in the form of two layers of sheet metal with grease installed on top of a brick wall prior to installation of a concrete slab.

**SOFFIT/EAVES** - The underside of a slab or an eave.

**SOLDIER COURSE** - A course of brickwork laid on its end.

**SPROCKET** - A framing timber used in eaves construction.

**STRETCHER BOND** - The most common masonry bond in Australia in which all bricks are laid with half overlaps and not using half bricks or cross bonds.

**STRUCTURAL ELEMENT** - Physically distinguishable part of a structure: NOTE: For example a wall, column, beam or connection points.

**TERRAZZO** - A material consisting of irregular marble or stone fragments set in a matrix of cement and mechanically abraded and polished after casting to produce a smooth hard surface.

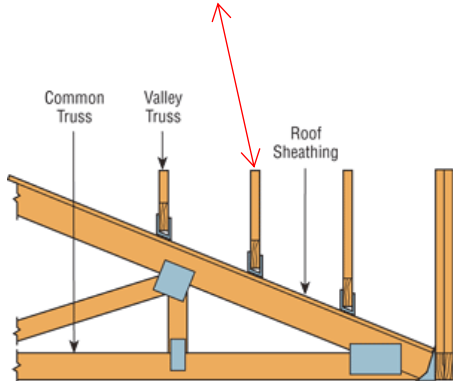
**THRESHOLD** - The step or sill at an external door of usually timber tile or brickwork.

**TOUGHENED GLASS** - Glass made by rapidly cooling the glass to make it shatter into small pieces when broken for safety, It usually cannot be cut and needs to be made to order to size. It is unlike laminated glass which is made from layers of glass with silicon between to crack only when broken for safety and can easily be cut on site.

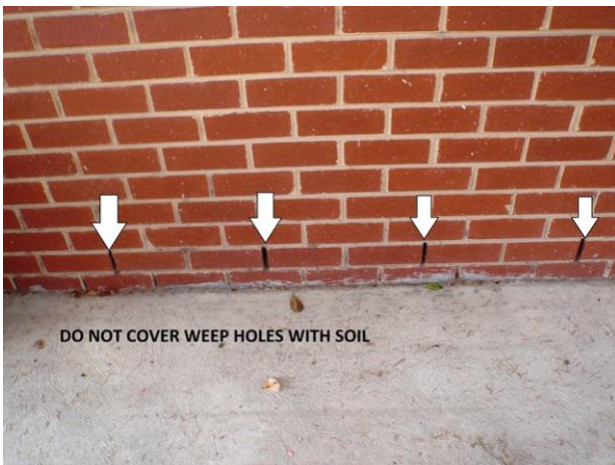
**UNDERPINNING** - The construction of new footings or concrete piers under an existing footing to prevent its collapse or failure.

**VALLEY** - The meeting line of two inclined roof surfaces at a re-entrant angle.

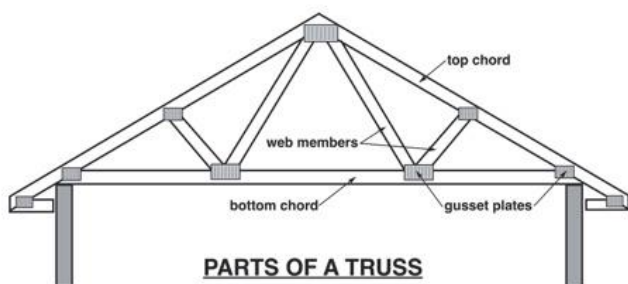
**VALLEY SERIES TRUSSES** - A series of timber roof Trusses that form the valley within a hip roof construction.



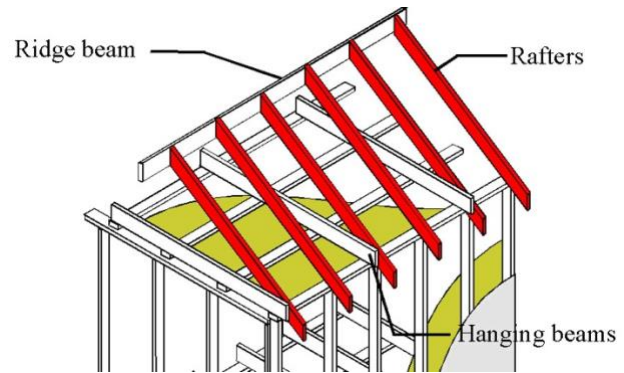
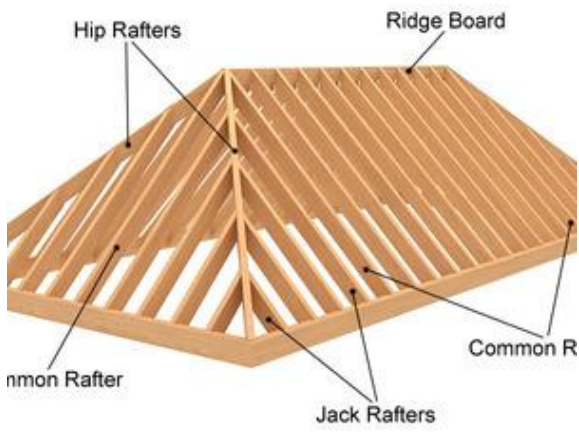
**WEEP HOLES** - Vertical joints or perpend in brickwork left open above the flashing line to allow water from behind the wall to escape.



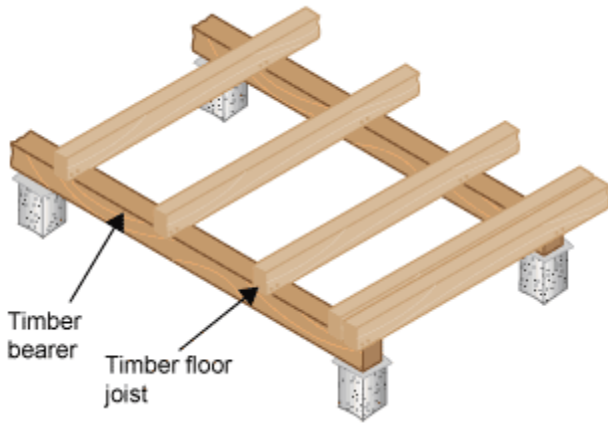
**A TRUSS ROOF:**



**A CONVENTIONAL ROOF:**



**TIMBER FLOOR, BEARERS AND JOISTS:**



Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

**PLUMBING AND DRAINAGE TERMS** (hjr007)

**ABSORPTION TRENCH** - A trench, pit or well excavated from permeable ground filled with broken stone, bricks or large granular materials and covered with earth to dispose of the discharge from a septic tank, sullage system or stormwater by absorption into the ground. **GULLY**

**TRAP (GT)** - An assembly in a sanitary drainage system, consisting of a trap and other fittings. Also called **GULLY**.

**JUNCTION (PIPE)** - A pipe fitting incorporating one or more branched.

**MANHOLE** - A large chamber or opening on a drain, sewer or equipment to permit access for inspection, testing or clearance if obstruction.

**STACK** - A vertical sanitary drainage pipe, including offsets, which extends more than one story in height.

**SULLAGE** - Domestic wastewater other than from soil fixtures.

**SUMP** - A pit at or below the lowest point of a structure to collect unwanted water and facilitate its removal, usually by means of a **SUMP PUMP**. Also called **DRAIN PIT**.

**TRAP** - a) A fitting usually in the shape of the letter P or S which retains water to form a "water seal" so as to prevent the passage of gases or foul air into the building. b) A fitting for the interception of silt, acids, grease, oils or fats.

**BOUNDARY TRAP** - A trap in the property service drain, usually near the boundary of a property and below the lowest inlet, to prevent the entry of air or gases from the sewer into property service drain. Also called **INTERCEPTOR TRAP**.

**P-TRAP** - A trap in which the inlet leg is vertical and the outer leg inclined below the horizontal to specified limits, with or without inspection opening at the lowest point.

**S-TRAP** - A trap in which the outer leg is vertical and parallel with the inlet leg, with or without inspection opening at the lowest point.

**SILT TRAP** - A trap containing a removable container for the collection of silt, sand or grit.

**VALVE** - A device for the control of liquid or gas flow, having an aperture which can be wholly or partially closed by a plate, disc, door, gate, piston, plug ball or the flexing of a diaphragm.

**FLOAT VALVE** - A valve actuated by a float (floating ball) to control the flow of liquid, used in tanks or cisterns to maintain a minimum water level. Also referred to as **FLOATING BALL VALVE**.

**FLUSH VALVE** - A control device for water flow at mains pressure to a WC pan; used instead of a cistern.

**MIXING VALVE** - A valve which is designed to mix separate supplies of hot and cold water and direct the maximum.

**PRESSURE REDUCING VALVE** - A valve designed to reduce or limit the pressure of a fluid to a predetermined value in the downstream side. Also called **PRESSURE LIMITING VALVE**.

Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>



THIS IS THE END OF THE **BUILDING** REPORT – BELOW AS PER THE INSPECTION AGREEMENT YOU HAVE ALREADY AGREED TO PRIOR TO DOWNLOADING OR RECEIVING THIS REPORT IS THE REPORT ACKNOWLEDGMENT FORM IN THE FORM OF A “**LINK**” WHICH WILL TAKE YOU TO A WEBFORM SO YOU CAN DIGITALLY ACKNOWLEDGE THIS BUILDING REPORT. THIS SAME NOTICE IS ALSO LOCATED AT THE BOTTOM OF THE ADJOINING PEST INSPECTION REPORT.

## **BUILDING & PEST INSPECTION ACKNOWLEDGEMENT**

YOU MUST Confirm that you have read AND understood the building & pest Inspection Report in FULL (Word for Word) and agree to contact **End 2 End Property Inspections** you have done so within 10 working days of receiving the report.

Also acknowledge that if you do not contact **End 2 End Property Inspections** within 10 days of receiving the report, then End 2 End Property Inspections will consider that this transaction has been finalised in full and that there are no pending questions or concerns; that is, the report has been read, understood and accepted.

**Report acknowledgment Link**

<https://e2epi.com.au/building-pest-inspection-acknowledgement/>

Should you (The purchaser) have any questions, clarifications or concerns about certain parts of the property inspection report, please note them in the text box (via the link) BEFORE you agree to purchase the property, and your concerns will be responded to accordingly.

Thank you

End 2 End Property Inspections



0413 058378

## Visual Pre-Purchase **Pest Inspection** Report

To comply with Australian Standard

Pest – AS4349.3-2010

### SUMMARY ONLY

#### IMPORTANT DISCLAIMER

This Summary is supplied to allow a quick and superficial overview of the inspection results.

This Summary is NOT the Report and cannot be relied upon on its own.

This Summary must be read in conjunction with the full report and not in isolation from the report.

If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

The Report is subject to conditions and limitations. Your attention is particularly drawn to the ~~the~~ **Causes, Disclaimer of Liability to Third Parties, Limited Liability to a Purchaser within the Australian Capital Territory and to the Notice to the Purchaser at the back of this Report.**

Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

TIMBER PEST ACTIVITY	Yes	No
Were active subterranean termites (live specimens) found?		X
Was visual evidence of subterranean termite workings or damage found?		X
Was visible evidence of borers of seasoned timbers found?		X
Was evidence of damage caused by wood decay (rot) fungi found?		X
Are further inspections recommended?		X
Were any major safety hazards identified?		X

**ALL INFORMATION PROVIDED IS FROM THE DATE AND TIME OF THIS INSPECTION**

**IN OUR OPINION, THE SUSCEPTIBILITY OF THIS PROPERTY TO TIMBER PESTS IS CONSIDERED TO BE:**

Low	Low-Moderate	Moderate	Moderate – High	High
X				

#### **\*Read report in full**

For complete and accurate information, you must refer to the following Complete Visual Timber Pest Report.

Important: We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

**1.1 Areas Inspected:** Only structures, fences &/or trees within 30m of the building but within the property boundaries were inspected. The areas inspected were: - Interior, Roof Void, Subfloor Exterior, Grounds, Fences.

**Areas NOT Inspected:** No inspection was made, and no report is submitted, of inaccessible areas. These include, but may not be limited to, cavity walls, concealed frame timbers, eaves, flat roofs, fully enclosed patios subfloors, soil concealed by concrete floors, fireplace hearths, wall linings, landscaping, rubbish, floor coverings, furniture, pictures, appliances, stored items, insulation, hollow **blocks/posts, etc.**

**1.2** Other Area(s)\* to which REASONABLE ACCESS for Inspection was NOT AVAILABLE and the Reason(s) why include:

**1.3 Area(s) in which Visual Inspection was Obstructed or Restricted and the Reason(s) why include:**

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**1.4** High Risk Area(s) to which Access should be gained, or fully gained, since they may show evidence of Timber Pests or damage include:

**Important:** If a complete inspection of the above areas was not possible, timber pest activity and/or damage may exist in these areas.

Further Inspections are strongly recommended to areas where Reasonable Access is Unavailable, Obstructed or Restricted or a High Risk of possible Timber Pests and /or Damage exists.

**1.5** The following further inspections are recommended for the areas described above:

**Furnished properties:** Where a property is furnished at the time of the inspection the furnishings and stored goods may be concealing evidence of Timber Pest Activity. This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

**1.6 Was the property furnished at the time of inspection?** Yes. As property was furnished at the time of inspection viewing was either limited or restricted.

Note: Important Limitations for Safe and Reasonable Access

Only areas where reasonable access was available were inspected. AS 4349.3 defines reasonable access and states that access will not be available where there are safety concerns, or obstructions, or the space available is less than the following:

**ROOF VOID** – the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and there is at least 600mm x 600mm of space to crawl.

**ROOF EXTERIOR** – must be accessible by a 3.6M ladder placed safely on the ground.

**SUBFLOOR** - Access is normally not available where dimensions are less than 500mm x 400mm for the access hole and less than 400mm of crawl space beneath the lowest bearer, or less than 500mm beneath the lowest part of any concrete floor.

The inspector shall determine whether sufficient space is available to allow safe access to confined areas.

Reasonable access does not include the use of destructive or invasive inspection methods. Nor does reasonable access include cutting or making access traps or moving heavy furniture or stored goods.

## 2. SUBTERRANEAN TERMITES:

2.1	Yes	No
Were active termites (live insects) present at the time of the inspection?		X

If the answer was “none found at the time of the inspection” then the following termite description is not applicable. Go to 2.2.

If the answer was “yes” then the termites are believed to be (not applicable as none found) .

The termites have the potential to cause (not applicable as none found) damage to structural and decorative timbers and were located mainly in, but not necessarily limited to, the following areas:

**2.1** A termite nest was not located.

**2.2 Visible evidence of subterranean termite workings.**

2.3	Yes	No
Was any visible evidence of subterranean termite workings and/or damage found?		X
Where workings and/or damage was found, it was in but not necessarily limited to the following areas:		

**NOTE:** Where evidence of termite activity was found in the grounds then the risk to buildings is very high. A treatment to eradicate the termites and to protect the building(s) should be carried out. Where the evidence of termite workings was found in the grounds or the building(s) then the risk of a further attack is very high.

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement.

(See Terms & Limitations).

2.4	Yes	No
Where activity or damage is reported above, does it present a major safety hazard?		X

If the answer is (Yes) the timber pest associated safety hazard is and is located

**Important Note: Where a Major Safety Hazard is identified above, it must be attended to and rectified to avoid the possibility of personal injury &/or death.**

VERY IMPORTANT:

If live termites or any evidence of termite workings or damage was reported above within the building(s) or in the ground and fences then it must be assumed that there may be concealed termite activity and/or timber damage. This concealed activity or damage may only be found when alterations are carried out such as when wall linings, cladding or insulation are removed or if you arrange for an invasive inspection. We claim no expertise in structural engineering or building. We strongly recommend that you have a qualified person such as a Builder, Engineer, Architect or other qualified expert in the building trade determine the full extent of the damage, if any. This may require an invasive inspection. We take no responsibility for the repair of any damage whether disclosed by this report or not. (See Terms & Limitations).

Where visual evidence of termite workings and/or damage is reported above, but no live termites were present at the time of inspection, you must realise that it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilising an alternative feeding source. Continued, regular, inspections are essential. Unless written evidence of a termite protection program in accord with "Australian Standard 3660" with ongoing inspections is provided, you must arrange for a treatment in accord with "Australian Standard 3660" to be carried out immediately to reduce the risk of further attack.

**General remarks:** A more thorough INVASIVE INSPECTION is available (refer to section 9). Where any current visible evidence of Timber Pest activity is found it is strongly recommended that a more invasive inspection is performed. Trees and stumps on the property with a diameter more than 100mm have been visually inspected for evidence of termite activity to a height of 2m where access was possible and practical. It is very difficult, and generally impossible to locate termite nests since they are underground and evidence in trees is usually well concealed. We therefore strongly recommend that you arrange to have trees test drilled for evidence of termite nests.

2.5	Yes	No
Was visual evidence of a possible previous termite treatment?		X

**WARNING:** If evidence of drill holes in concrete or brickwork or other signs of a possible previous treatment are reported then the treatment was probably carried out because of an active termite attack. Extensive structural damage may exist in concealed areas. You should have an invasive inspection carried out and have a builder determine the full extent of any damage and the estimated cost of repairs as the damage may only be found when wall linings etc are removed.

2.6	Yes	No
Was any Durable Notice (Termite Management Notice) located.		X

Normally if a termite treatment has been carried out then a durable notice should be located indicating the type of termite shield system, treated zone or combination has been installed.

This firm can give no assurances with regard to work that may have been previously performed by other firms. You should obtain copies of all paperwork and make your own inquiries as to the quality of the treatment, when it was carried out and warranty information. In most cases you should arrange for a treatment in accord with "Australian Standard 3660" be carried out to reduce the risk of further attack.

### 3. BORERS OF SEASONED TIMBER:

**Lyctus brunneus (powder post beetle)** is not considered a significant pest of timber. Damage is confined to the sapwood so treatment or timber replacement is not usually required. However, you should have a building expert investigate if any timber replacement is required.

**Anobium punctatum (furniture beetle) and Calymnaderus incisus (Queensland pine beetle)** must always be considered active, unless proof of treatment is provided, because, unless the timber is ground up, one cannot determine conclusively if activity has ceased. Total timber replacement of all susceptible timbers is recommended. A secondary choice is treatment. However, the evidence and damage will remain, and the treatment may need to be carried out each year for up to three years.

3.1	Yes	No
Was visible evidence of borers found?		X

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

Borer activity is usually determined by the presence of exit holes and/or frass. Since a delay exists between the time of initial infestation and the appearance of these signs, it is possible that some borer activity may exist that is not discernible at the time of inspection.

3.2	Yes	No
Where activity or damage is reported above, does its presence represent a major safety hazard?		X

If the answer is (Yes) the timber pest associated safety hazard is and is located .

**Important Note:** Where a Major Safety Hazard is identified above, it must be attended to and rectified to avoid the possibility of personal injury &/or death.

#### 3.3 Borer recommendations:

Replacement of all susceptible timbers is always preferred since, in the event of selling the property in the future it is probable that an inspector will report the borers as active (see above). A chemical treatment to control and/or protect against Furniture beetle and/or Queensland pine beetle can be considered as a less effective, lower cost option. Before considering this option, you should consult with a builder (See Terms & Limitations) to determine if the timbers are structurally sound. Following the initial treatment, a further inspection is essential in twelve months' time to determine if further treatment is needed. Treatments over a number of consecutive years may be required.

4.1	Yes	No
Was evidence of wood decay fungi (wood rot) found?		X
Where evidence was found, it was in but not necessarily limited to the following areas: .		

We claim no expertise in building and if any evidence or damage has been reported then you must have a building expert determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

4.2	Yes	No
Where damage is reported above, does its presence represent a major safety hazard?		X
The timber pest associated safety hazard is located: .		

**Important Note:** Where a Major Safety Hazard is identified above, it must be attended to and rectified to avoid the possibility of personal injury &/or death.

We claim no expertise in building and if any evidence of fungal decay or damage is reported you should consult a building expert to determine the full extent of damage and the estimated cost of repairs or timber replacement (See Terms & Limitations).

#### 4 Conditions That Are Conducive To Timber Pest Infestation:

Water leaks, especially in or into the subfloor or against the external walls e.g. leaking taps, water tanks, leaking roofs or down pipes and or guttering, increases the likelihood of termite attack. Leaking showers or leaks from other 'wet areas' also increase the likelihood of concealed termite attack. These conditions are also conducive to borer activity and wood decay.

5.1	Yes	No
At the time of the inspection, where any visible leaks were found?		X
If present, where were leaks located? .		

We claim no expertise in building and if any leaks were reported then you must have a plumber or other building expert determine the full extent of damage and the estimated cost of repairs.

**Hot water services, air conditioning units which release water alongside or near to building walls** need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites.

5.2	Yes	No
Is there a need for works to be carried out on hot water or air-conditioning services?		X
If required, what works need to be carried out?		
. <b>Hot water services, air conditioning units which release water alongside or near to building walls</b> need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites		

**Water Tanks** are required to be installed in new homes in some states and many homes have had them retroactively installed as a conservation measure. Tanks which release water alongside or near to building walls need to be connected to a drain. If this is not possible then their water outlet needs to be piped several meters away from the building, as the resulting wet area is highly conducive to termites.

5.3	Yes	No
Is there a need for works to be carried out on water tank?		X
If required, what works need to be carried out? .		

**High moisture readings** can be caused by any one of the following: poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. High moisture levels also increase the likelihood of termite attack and may also be conducive to borer activity and wood decay.

5.4	Yes	No
At the time of the inspection and at the discretion of the inspector, did the Tramex Encounter Plus Moisture Meter show evidence of moisture present		X
What level did the Tramex Encounter Plus Moisture Meter indicate? . <b>Low</b>		

If high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

Drainage: Poor drainage, especially in the subfloor, greatly increases the likelihood of wood decay and termite attack.

5.5	Yes	No
We claim no expertise in plumbing and drainage, however, does drainage appear generally adequate?		X

Where drainage is considered inadequate a plumber, builder or other building expert must be consulted.

Ventilation, particularly in the sub-floor region is important in minimizing the opportunity for Timber Pests to establish themselves within a property.

5.6	Yes	No
We claim no expertise in building, however, does the ventilation appear generally adequate?	X	

We claim no expertise in building; however, the ventilation appears to be generally adequate. Where ventilation is considered inadequate a builder or other expert should be consulted, in the case where vent airflow is physically blocked or restricted, the obstruction must be removed.

Mold on walls and ceilings etc; is an indicator of high moisture or very poor ventilation. If reported You need to have the reason investigated by a builder or an Industry Hygienist as its presence may indicate the presence of a water leak, wood decay or termites behind the wall or ceiling sheeting.

5.7	Yes	No
Was evidence of mold present at time of inspection?		X
Where was the mould located?		
.		

Timbers Exposed to Weather and/or Water: Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, e.g. regular painting. However, in some cases, you should consider replacing the timbers with a more suitable species or material.

5.8	Yes	No
Does the fitness for purpose of the visible structural timber exposed to weather and/or water appear adequate for the situation they have been used in?	X	

It is strongly recommended that you consult a Builder, Architect or other specialist in the field to inspect exposed timbers to give expert advice on their durability and suitability for the situation in which they are used.

<b>Other areas and/or situations that appear conducive to (may attract) subterranean termite infestation:</b>
<p>Any areas where the external footprint of the home is concealed by and not limited to concrete paths, plants, trees, general vegetation, household goods, rubbish, soil, ground cover applications like mulch and bark or anything for that matter that does not allow clear visual access to the externals of the dwelling's foundations. If it cannot be seen, then it has not been reported on.</p> <p>Further situations that can be conducive to Termites is both hot water system overflows and air conditioning condensate pipes + leaking outdoor taps that are left to leak water onto the ground beside the dwellings. Both hot water systems and air conditioner pipes must be plumbed into the properties sewer system and all external taps must have a suitable drain below that connects to the sewer or stormwater system depending on your council regulations.</p>

## 5 CONDITIONS CONDUCIVE TO UNDETECTED TERMITE ENTRY

**Slab Edge Exposure:** Where external concrete slab edges are not exposed there is a high risk of concealed termite entry. In some buildings built since July 1995 the edge of the slab forms part of the termite shield system. In these buildings an inspection zone of at least 75mm should be maintained to permit detection of termite entry. The concrete edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf or landscaping etc. Where this is the case you should arrange to have the slab edge exposed for inspection. Concealed termite entry may already be taking place but could not be detected at the time of the inspection. This may have resulted in concealed timber damage.

6.1	Yes	No	N/A
Does the slab edge inspection zone fully comply?			X

Note: A very high proportion of termite attacks are over the edge of both Infill and other concrete slabs types. Covering the edge of a concrete slab makes concealed termite entry easy. Infill slab type construction has an even higher risk of concealed termite ingress as the slab edge is concealed due to the construction design and cannot be exposed. The type of slab may only be determined by assessment of the construction plans by a qualified person e.g. Builder, Architect. Construction Plans may be obtainable by your conveyancer. Termite activity and or damage may be present in concealed timbers of the building. We strongly recommend frequent regular inspections in accordance with AS 3660.2. Where the slab edge is not fully exposed or the slab is an infill slab or the slab type cannot be determined then we strongly recommend inspections every 3 to 6 months in accordance with AS 3660.2

Infill slab: A slab on the ground cast between walls. Other slabs should be in accordance with AS 2870 - 1996 and AS 3660.1-2000.

**Weep holes in external walls:** It is very important that soil, lawn, concrete paths or pavers do not cover the weep holes. Sometimes they have been covered during the rendering of the brick work. They should be clean and free flowing. Covering the weep holes in part or in whole may allow undetected termite entry.

6.2	Yes	No	N/A
Were the weep holes clear allowing the free flow of air?			X

**Termite Shields (Ant Caps)** should be in good order and condition, so termite workings are exposed and visible. This helps stop termites gaining undetected entry. Joins in the shielding should have been soldered during the installation. Whenever it is observed that the joins in the shielding have not been soldered then the shielding must be reported as inadequate. It may be possible for a builder to repair the shielding. If not, a chemical treated zone may need to be installed to deter termites from gaining concealed access to the building. Missing, damaged or poor shields increase the risk of termite infestation.

6.3	Yes	No	N/A
Do termite shields appear to be adequate?			X

If considered inadequate a builder or other building expert should be consulted.

Other physical shield systems are not visible to inspection and no comment is made on such systems.

6.4 Other areas and/or situations that may allow undetected subterranean termite entry:
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**Report acknowledgement link** - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>

## 6 OTHER INFORMATION:

Refer to Important Maintenance Advice regarding what a property owner can do to help reduce risk of Timber Pest attack.

Details (if applicable) of non-destructive electronic equipment (other than moisture Meter) used at the discretion of the inspector during the inspection.

Details (if applicable) of nondestructive electronic equipment (other than moisture Meter) used at the discretion of the inspector during the inspection;	Make	Model	Results
	TermaTrac	T3I	Not used
	Tramex	Moisture Encounter Plus	Ok

## 7 Overall Assessment of The Property:

Where the evidence of live termites or termite damage or termite workings (mudding) was found in the building(s) then the risk of a further attack is extremely high. Where evidence of live termites or termite damage or termite workings was found in the grounds but not in the buildings then the risk to buildings must be reported as high to extremely high. moderate to high.

8.1 At the time of the inspection the degree of risk of subterranean termite infestation to the overall property was considered:				
<b>Low</b>	<b>Low-Moderate</b>	<b>Moderate</b>	<b>Moderate – High</b>	<b>High</b>
X				

## SUBTERRANEAN TERMITE TREATMENT RECOMMENDATION:

8.2	Yes	No
Is a management program in accord with AS 3660-2000 to protect against subterranean termites is considered to be essential?	X	
As per AS 4349.3 or AS 3660.2- 2000 What Inspection schedule recommended?  Within 3 months from date of this report and 12 monthly inspections thereafter unless stated otherwise by a licensed treating pest technician. If you don't have access to a treating technician, please see below details for "The Termite Trackers" and tell them End 2 End Property Inspections sent you.  <b>THE TERMITE TRACKERS – 0474 962 443</b>		

**Report acknowledgement link - <https://e2epi.com.au/building-pest-inspection-acknowledgement/>**

FUTURE INSPECTIONS: AS 3660.2-2000 recommends that inspections be carried out at intervals no greater than annually and that, where timber pest "pressure" is greater, this interval should be shortened. I

Inspections WILL NOT stop timber pest infestation; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

## CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain

situations, problems, access difficulties or timber Pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification, then contact the inspector prior to acting on this report.

**The Inspection was carried out by: Ben (0413 058 378)**

**THIS IS THE END OF THE PEST REPORT – BELOW AS PER THE INSPECTION AGREEMENT YOU HAVE ALREADY AGREED TO PRIOR TO DOWNLOADING OR RECEIVING THIS REPORT IS THE REPORT ACKNOWLEDGMENT FORM IN THE FORM OF A “LINK” WHICH WILL TAKE YOU TO A WEBFORM SO YOU CAN DIGITALLY ACKNOWLEDGE THIS PEST REPORT.**

## **BUILDING & PEST INSPECTION ACKNOWLEDGEMENT**

YOU MUST Confirm that you have read AND understood the building & pest Inspection Report in FULL (Word for Word) and agree to contact **End 2 End Property Inspections** you have done so within 10 days of receiving the report.

Also acknowledge that if you do not contact **End 2 End Property Inspections** within 10 days of receiving the report, then End 2 End Property Inspections will consider that this transaction has been finalised in full and that there are no pending questions or concerns; that is, the report has been read, understood and accepted.

**Report acknowledgment Link**

<https://e2epi.com.au/building-pest-inspection-acknowledgement/>

Should you (The purchaser) have any questions, clarifications or concerns about certain parts of the property inspection report, please note them in the text box (via the link) BEFORE you agree to purchase the property, and your concerns will be responded to accordingly.

Thank you

End 2 End Property Inspections

**THIS IS THE END OF THE COMBINED BUILDING & PEST INSPECTION REPORTS**